

PROJECT DIRECTORY

OWNER:

VICTOR & MOLLY CATANZARO

P.O. BOX 444
SAN MATEO, CALIFORNIA, 94401-0444
650 574 1000

ARCHITECT:

HDO ARCHITECTS-PLANNERS

2450 CAMINO DIABLO, SUITE 110
WALNUT CREEK, CALIFORNIA 94597
925 256 6042

LANDSCAPE ARCHITECT:

THOMAS BAAK AND ASSOCIATES

1620 NORTH MAIN STREET, SUITE 4
WALNUT CREEK, CA. 94596
925 933 2583

CIVIL ENGINEER:

LUK AND ASSOCIATES

738 ALFRED NOBEL DRIVE
HERCULES, CALIFORNIA, 94541
910 724 3388

ARBORIST

ARBOR RESOURCES

P.O. BOX 25215
SAN MATEO, CALIFORNIA, 94402
650 654 3351

GEOTECHNICAL ENGINEER

ROCKRIDGE GEOTECHNICAL

210 GRAND AVENUE
OAKLAND, CALIFORNIA, 94610
510 420 5758

DRAWING INDEX

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BUILDING DATA

CODES AND REGULATIONS:

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE
SAN MATEO MUNICIPAL CODE AND BUILDING SECURITY CODE (SMMC CHAPTER 29.54)

USE AND OCCUPANCY:

MULTI-FAMILY
R-2
TYPE III-A CONSTRUCTION
NFPA 13 SPRINKLERS
4 STORIES ADV. GRADE PLANE
BASEMENT PARKING GARAGE
S-2
TYPE IA CONSTRUCTION
NFPA 13 SPRINKLERS
1 STORY BELOW GRADE PLANE

BUILDING AREAS:

	BLDG. AREA 1	BLDG. AREA 2	TOTAL
GARAGE:			24,888 SF +-
1ST FLOOR:	5,192 SF	6,082 SF	11,274 SF +-
2ND FLOOR:	5,192 SF	6,231 SF	11,423 SF +-
3RD FLOOR:	5,192 SF	5,440 SF	10,632 SF +-
4TH FLOOR:	5,192 SF	5,440 SF	10,632 SF +-
5TH FLOOR:	5,679 SF	4,703 SF	10,382 SF +-
TOTAL	26,447 SF	27,946	

TOTAL RESIDENTIAL BUILDING AREA:
54,443 SF +-

CABANA 294 SF +-

NOTE: BLDG. AREA 1 & BLDG. AREA 2 ARE SEPARATED BY A 2-HR AREA SEPARATION WALL ON EACH RESIDENTIAL LEVEL.

222 GATEWAY TERRACE CONDOMINIUMS

222 SOUTH FREMONT ST.



PROJECT DATA

Project Description - 222 Gateway Terrace Condominiums

The 222 Gateway Terrace Condominiums project consists of 40 residential units at the NW corner of E. 3rd Avenue and So. Fremont Street. The proposed 5-story structure will improve a vacant parcel and replace a 2 bedroom single family home with a new multi-family building with one level below grade parking. A density bonus of 35% per the DMR, inclusionary program is applied to the code permitted 30 units allowing up to 41 units at the site.

222 Gateway Terrace Condominiums
PA 19 - 086
Address: 717 E. 3rd Ave & 727 E. 3rd Ave aka 222 So. Fremont Street
APNs: 033-163-050 & 033-163-170

										City Parking SD				
Unit #	Floor	Type	Living sq. ft.	Mtg core & mechanical	air circulation	F.A.R. Ceiling sq.ft.	Refrigerator deck/sq.ft.	Required open space	Req storage open space	City Parking	Resident	Visitor	State	
101	1	2/2	1,243					541	300	1	1.8	0.2	1.6	
102	1	2 1/2 + den	1,385					547	300	0	1.8	0.2	1.6	
103	1	1/1	788					397	200	0	1.6	0.2	0.5	
104	1	2/2	971					306	300	1	1.8	0.2	1.6	
105	1	1/1	788					386	200	0	1.6	0.2	0.5	
106	1	2 1/2 + den	1,206					352	300	1	1.8	0.2	1.6	
107	1	1/1	799					383	200	0	1.6	0.2	0.5	
108	1	2/2	1,551					433	300	1	2.0	0.2	1.6	
109	1	1/1	1,007		1.676	506	11.274	433	300	1	1.6	0.2	0.5	
201	2	2 1/2 + den	1,381					419	300	1	1.8	0.2	1.6	
202	2	2 1/2 + den	1,531					65	300	2	2.0	0.2	1.6	
203	2	1/1	788					80	200	0	1.6	0.2	0.5	
204	2	2 1/1 + BMR	972					0	300	300	1.8	0.2	1.6	
205	2	1/1 + BMR	788					142	200	58	1.6	0.2	0.5	
206	2	2 1/2 + den	1,206					131	300	169	1.8	0.2	1.6	
207	2	1/1	788					86	200	128	1.6	0.2	0.5	
208	2	2/2	1,551					168	300	132	2.0	0.2	1.6	
209	2	1/1	1,047	BMS		506	10.916	156	300	144	1.6	0.2	0.5	
301	3	2/2	1,281					208	300	32	1.8	0.2	1.6	
302	3	2/2	1,331					205	300	32	1.8	0.2	1.6	
303	3	1/1	788					86	200	128	1.6	0.2	0.5	
304	3	2 1/1 + BMR	972					6	300	300	1.8	0.2	1.6	
305	3	1/1 + BMR	788					142	200	58	1.6	0.2	0.5	
306	3	2 1/2 + den	1,206					131	300	169	1.8	0.2	1.6	
307	3	1/1	788					86	200	128	1.6	0.2	0.5	
308	3	2/2	1,551					168	300	132	2.0	0.2	1.6	
309	3	1/1	1,047	BMS		506	10.916	156	300	144	1.6	0.2	0.5	
401	4	2/2	1,018					208	300	32	1.8	0.2	1.6	
402	4	2/2	1,161					265	300	35	1.8	0.2	1.6	
403	4	1/1	788					86	200	128	1.6	0.2	0.5	
404	4	2 1/1	972					0	300	300	1.8	0.2	1.6	
405	4	1/1	788					142	200	58	1.6	0.2	0.5	
406	4	2 1/2 + den	1,206					131	300	169	1.8	0.2	1.6	
407	4	1/1	788					86	200	128	1.6	0.2	0.5	
408	4	2/2	1,551					168	300	132	2.0	0.2	1.6	
409	4	1/1	1,047	BMS		506	10.916	156	300	144	1.6	0.2	0.5	
501	5	3 1/2 + den	2,066					248	400	152	2.0	0.2	1.6	
502	5	3 1/2 + den	2,200					213	400	147	2.0	0.2	1.6	
503	5	3 1/2 + den	2,265					154	400	246	2.0	0.2	1.5	
504	5	3 1/2 + den	2,276	B31		506	9.981	314	400	86	2.0	0.2	1.5	

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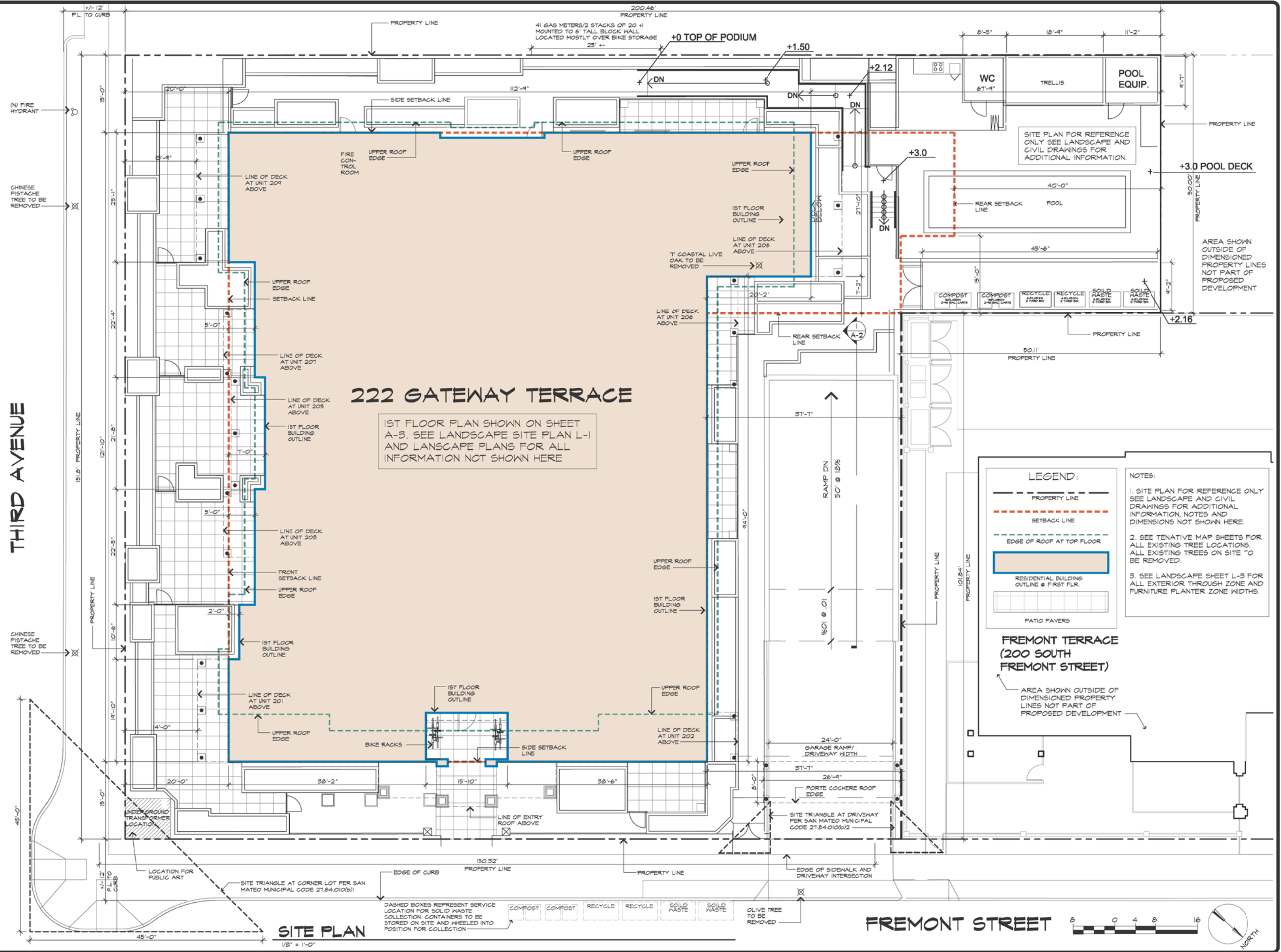


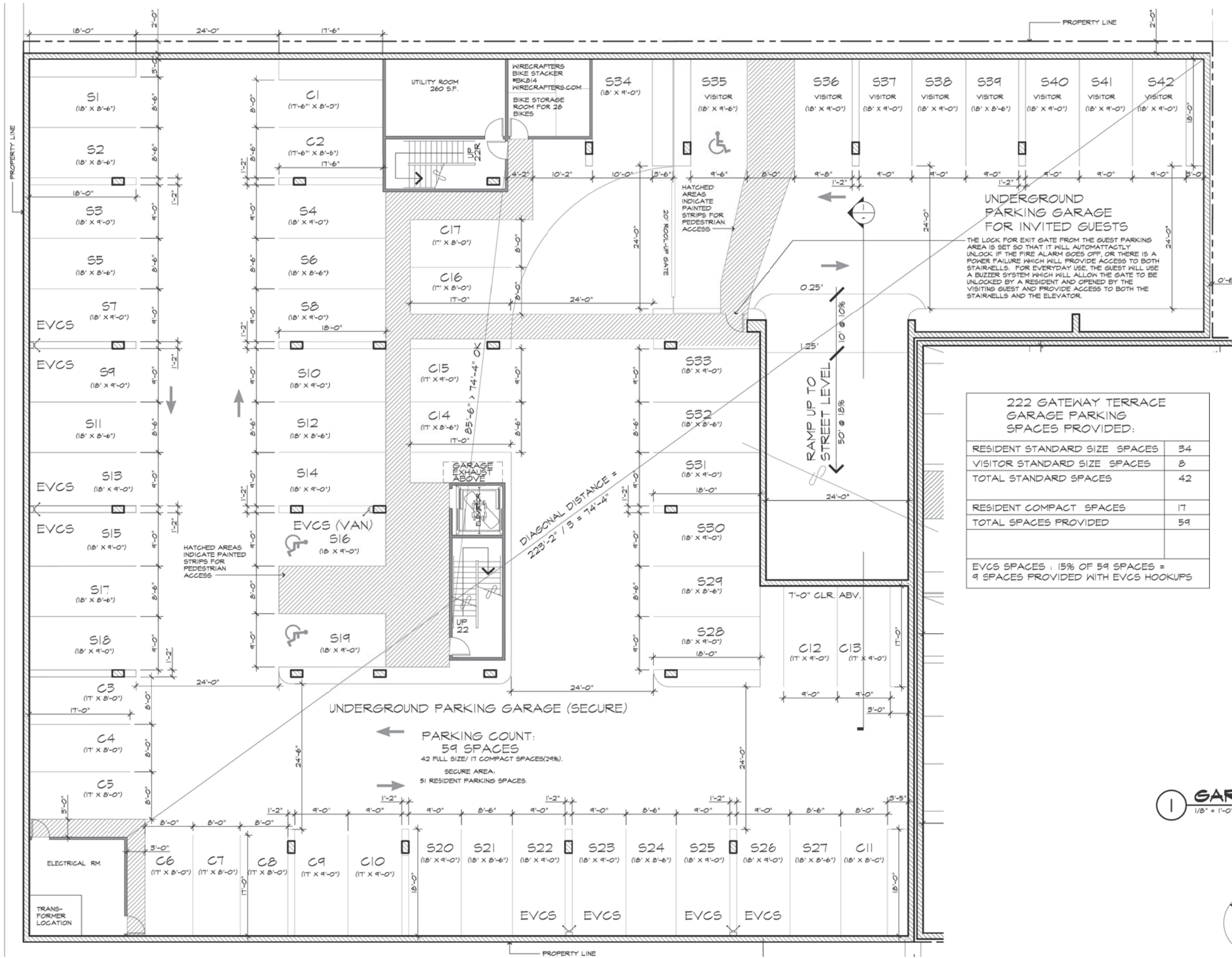
**222 GATEWAY TERRACE
CONDOMINIUMS
222 SOUTH PREMONT STREET
FOR:
WALL STREET PROPERTIES
SAN MATEO, CALIFORNIA**

drawing
SITE PLAN

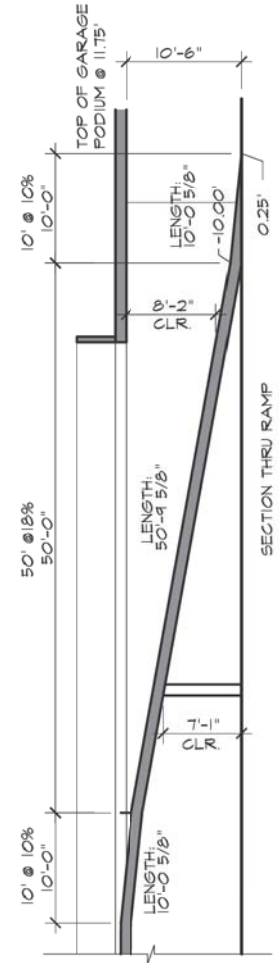
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A-1





222 GATEWAY TERRACE GARAGE PARKING SPACES PROVIDED:	
RESIDENT STANDARD SIZE SPACES	34
VISITOR STANDARD SIZE SPACES	8
TOTAL STANDARD SPACES	42
RESIDENT COMPACT SPACES	17
TOTAL SPACES PROVIDED	59
EVCS SPACES : 15% OF 59 SPACES = 9 SPACES PROVIDED WITH EVCS HOOKUPS	



1 GARAGE RAMP SECTION
1/8" = 1'-0"



GARAGE PLAN
1/8" = 1'-0"

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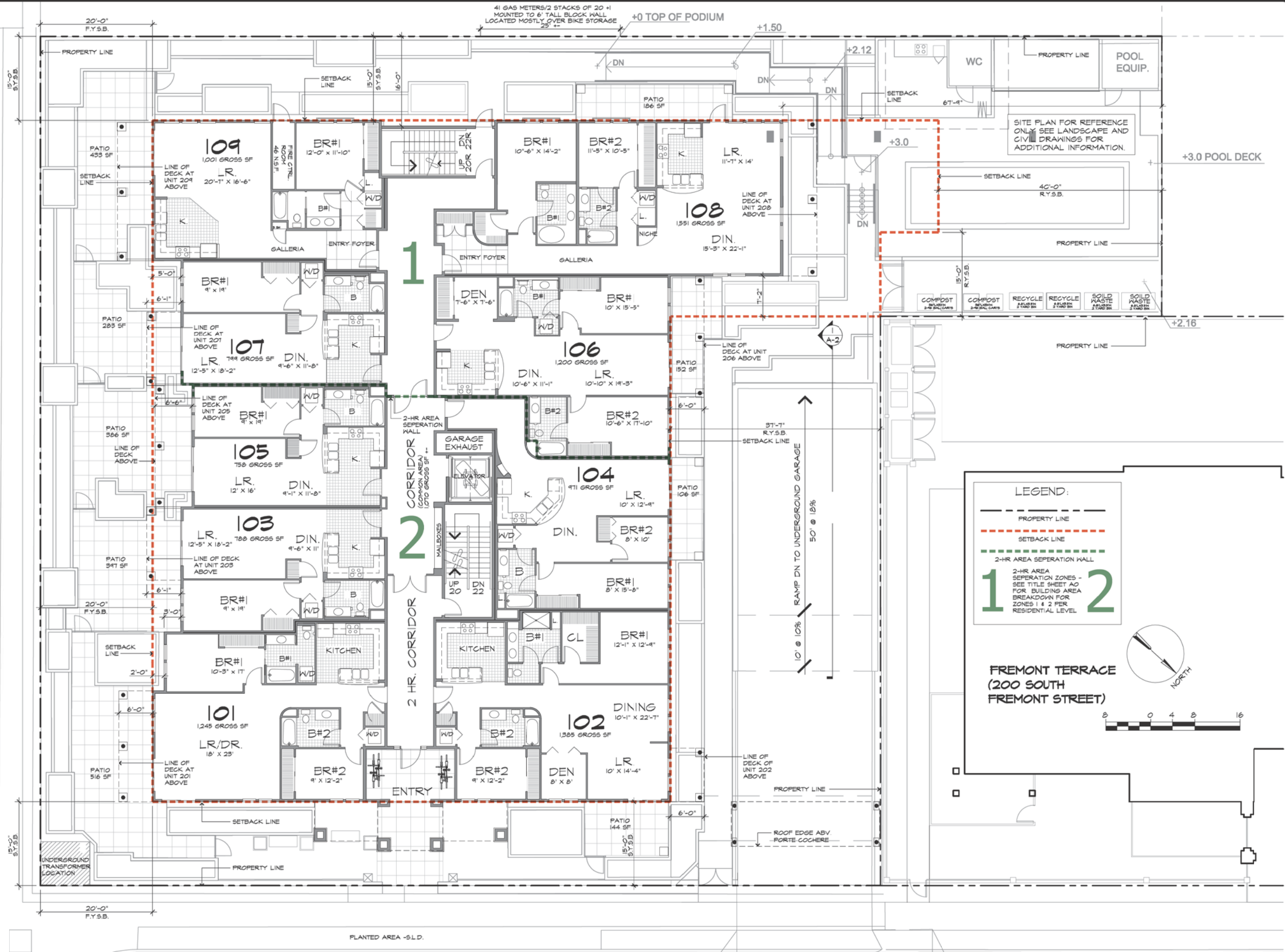
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drawing
**GARAGE
PLAN**

drawn
checked RH
date 12-20-19
scale 1/8"=1'-0"
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THIRD AVENUE
70' R.O.W.

PLANTED AREA -S.L.D.



FIRST FLOOR PLAN

1/8" = 1'-0"

70' R.O.W. FREMONT STREET

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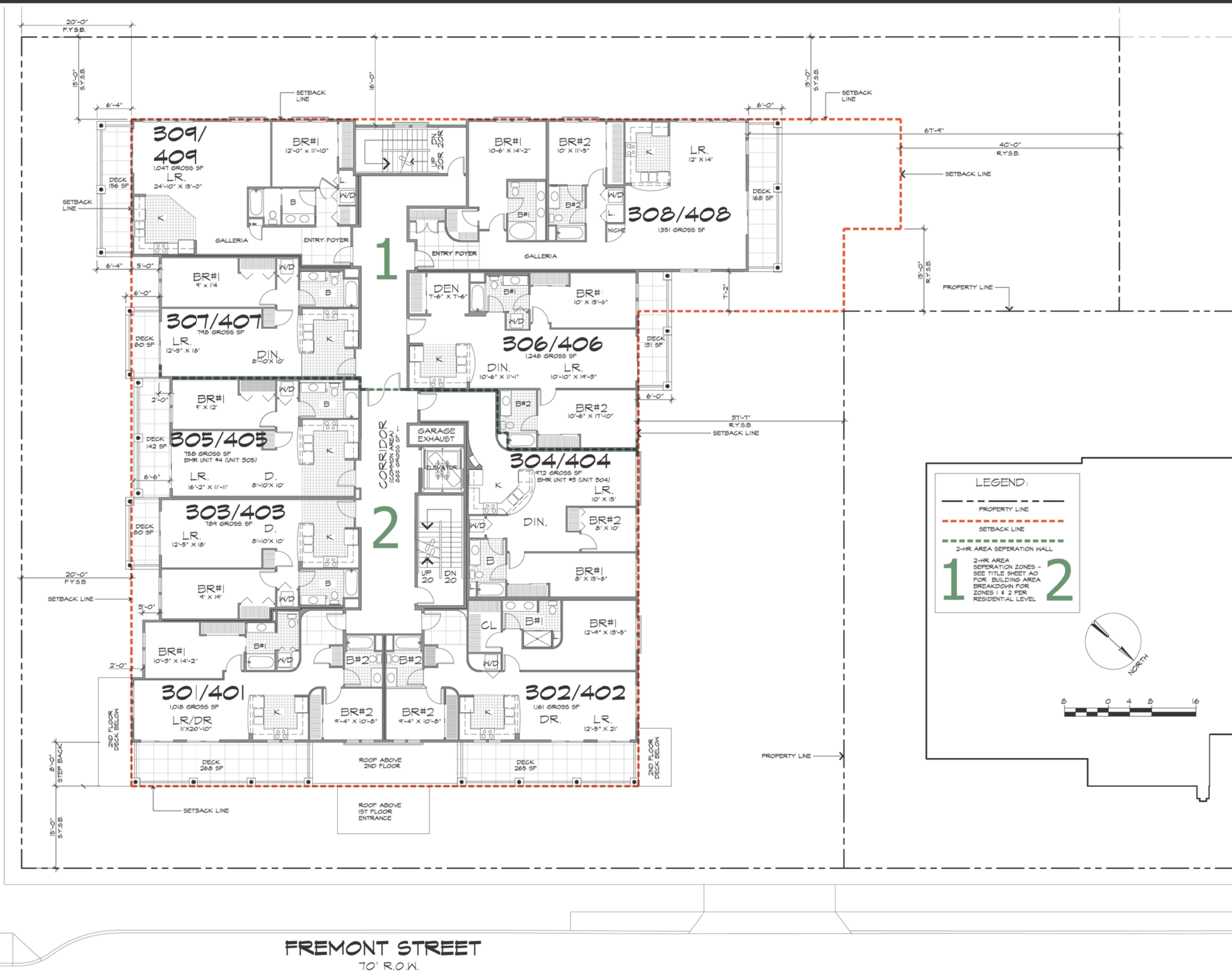
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222 SOUTH FREMONT STREET
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drawing
**FIRST
FLOOR
PLAN**

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A-3

THIRD AVENUE
70' R.O.W.



FREMONT STREET
70' R.O.W.

THIRD AND FOURTH FLOOR PLAN

1/8" = 1'-0"

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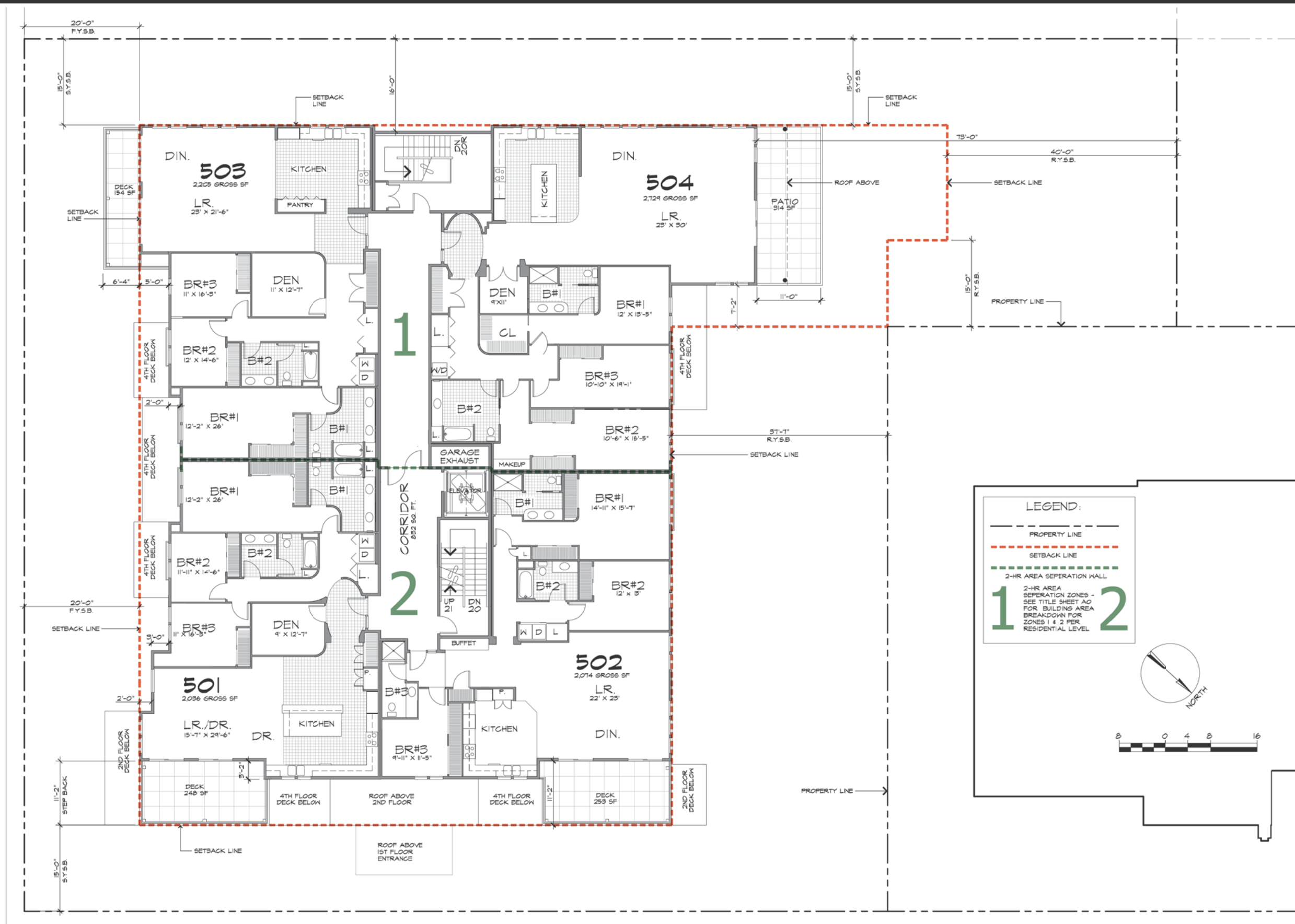
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drawing
3RD AND
4TH FL
PLAN

drawn
checked RH
date 12-20-19
scale 1/8"=1'-0"
job no. 1703
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A-5

THIRD AVENUE
70' R.O.W.



FIFTH FLOOR PLAN

1/8" = 1'-0"

FREMONT STREET
70' R.O.W.

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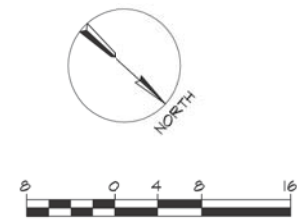
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**5TH FL
PLAN**

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A-6

ROOF PLAN

FREMONT STREET
70' R.O.W.

A-7



FREMONT STREET ELEVATION

1/8" = 1'-0"



THIRD AVENUE STREET ELEVATION

1/8" = 1'-0"

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ELEVATIONS

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A-8



FREMONT STREET ELEVATION

1/8" = 1'-0"



THIRD AVENUE STREET ELEVATION

1/8" = 1'-0"

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FOR:
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SAN MATEO, CALIFORNIA

drawing

**COLORED
ELEVATIONS**

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NORTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

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FOR:
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ELEVATIONS

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RH
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NORTH ELEVATION

1/8" = 1'-0"



WEST ELEVATION

1/8" = 1'-0"

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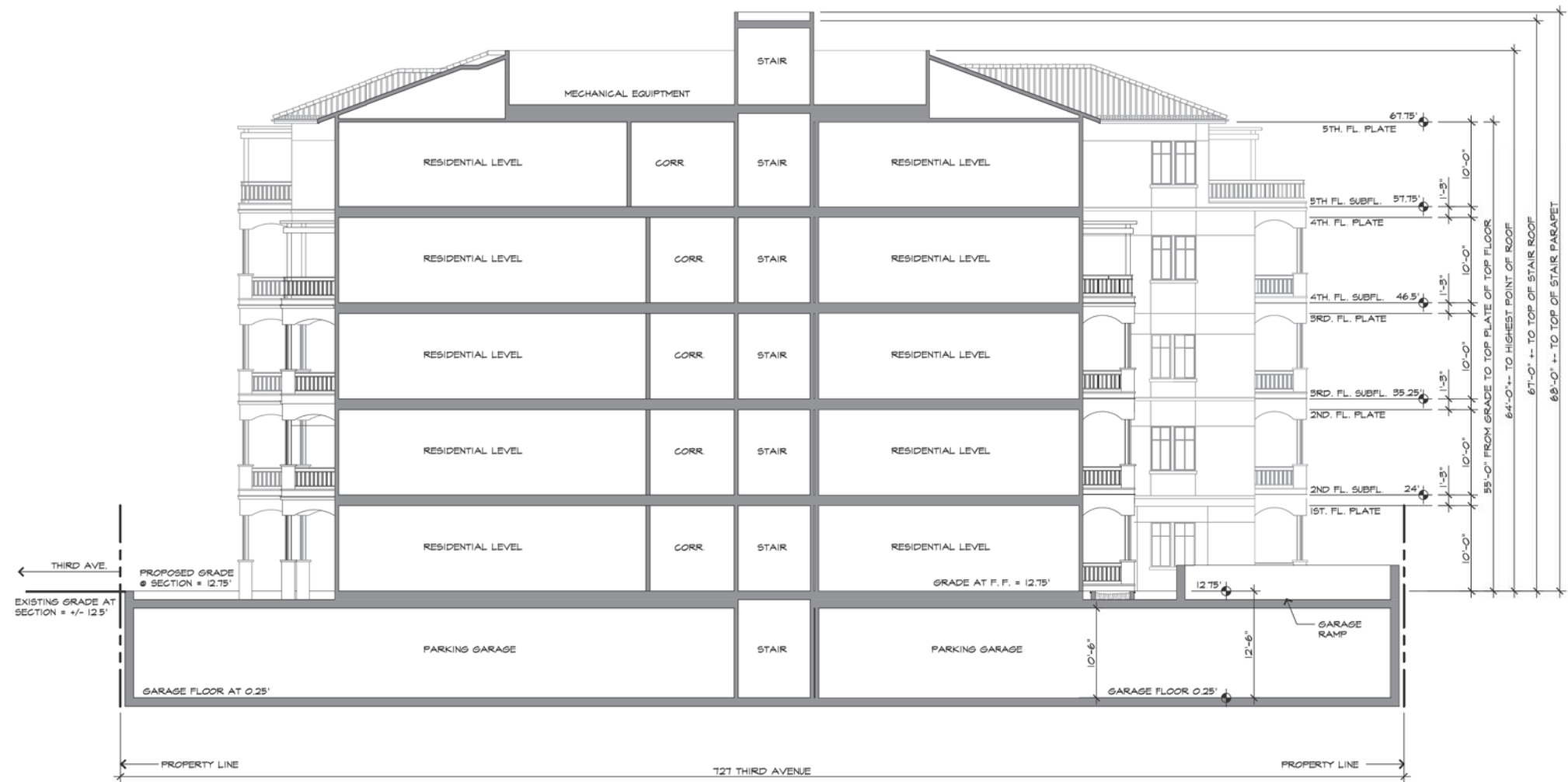


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CONDOMINIUMS**
222 SOUTH PREMONT STREET
FOR:
WALL STREET PROPERTIES
SAN MATEO, CALIFORNIA

drawing
**COLORED
ELEVATIONS**

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A-9.1



BUILDING SECTION

1/8" = 1'-0"

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BUILDING
SECTION

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A-10

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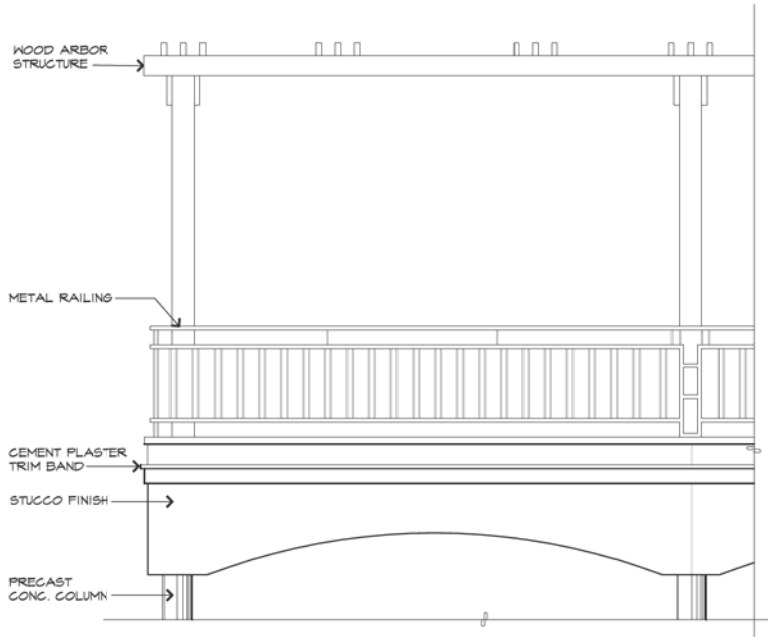
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DETAILS

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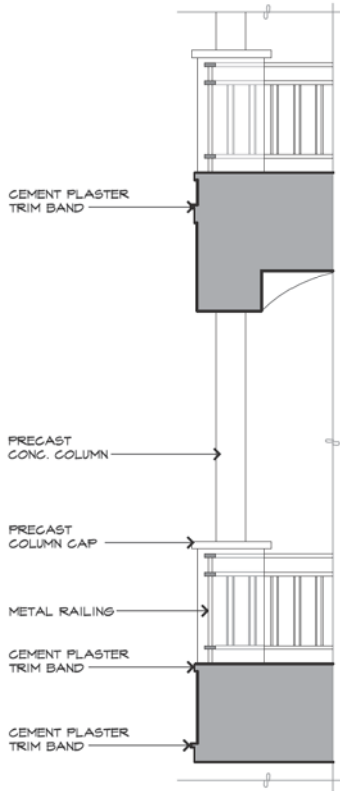
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18 BALCONY RAIL AND TRELLIS (FIFTH FLOOR)

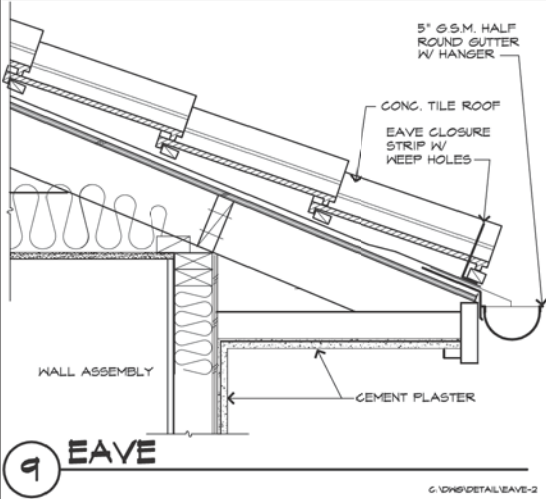
1/2" = 1'-0"

HDECK

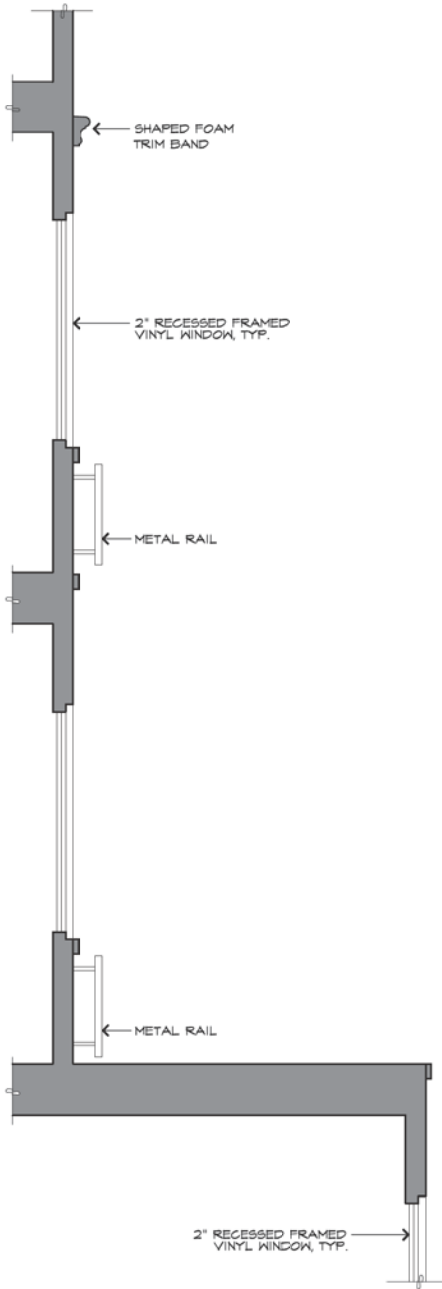


16 BALCONY COLUMN DETAIL

1/2" = 1'-0"



C:\DMS\DETAIL\EAVE-2



SECTION

12 WINDOW TRIM SURROUND

1/2" = 1'-0"

5TH. FL. SUBFL.

4TH. FL. SUBFL.

3RD. FL. SUBFL.



FREMONT STREET ELEVATION ABOVE FRONT ENTRANCE

WINDOW

COLORS & MATERIALS

1

ROOF

S-TILE CLAY

BORAL

VIEJO BLEND



2

PLASTER

SMOOTH FINISH

SW 6335

FIRE BRICK



3

PLASTER

SMOOTH FINISH

SW 9006

ROJO DUST



4

PLASTER

SMOOTH FINISH

SW 6331

SMOKY SALMON



5

PLASTER

SMOOTH FINISH

SW 6323

ROMANCE



6

WINDOW

BRONZE

VINYL FRAME



7

RAILING

BRONZE METAL



8

TRIM BAND

CEMENT

PLASTER

COLOR

& SHAPE

CAN VARY

-SEE ELEV.

9

COLUMNS

PRECAST CONC.

PAINT WHITE



10

TILES

BLUE TILES



11

WOOD

ARBOR

PAINT WHITE





FREMONT STREET ELEVATION

SCALE 1/8" = 1'-0"

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222 SOUTH PREMONT STREET

FOR: WALL STREET PROPERTIES

SAN MATEO, CALIFORNIA

drawing

COLORS & MATERIALS

drawn

RH

checked

RH

date

12-20-19

scale

NOT SCALE

job no.

1703

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SITE LOCATION

N.T.S.



LOOKING NORTHEAST FROM 3RD AVE.



LOOKING WEST FROM INT. OF 3RD AVE. AND S. FREMONT ST.



LOOKING NORTHEAST FROM SOUTH FREMONT ST.



LOOKING NORTHWEST TOWARDS SITE



LOOKING SOUTHWEST FROM 3RD AVE.



LOOKING SOUTH TOWARDS SITE

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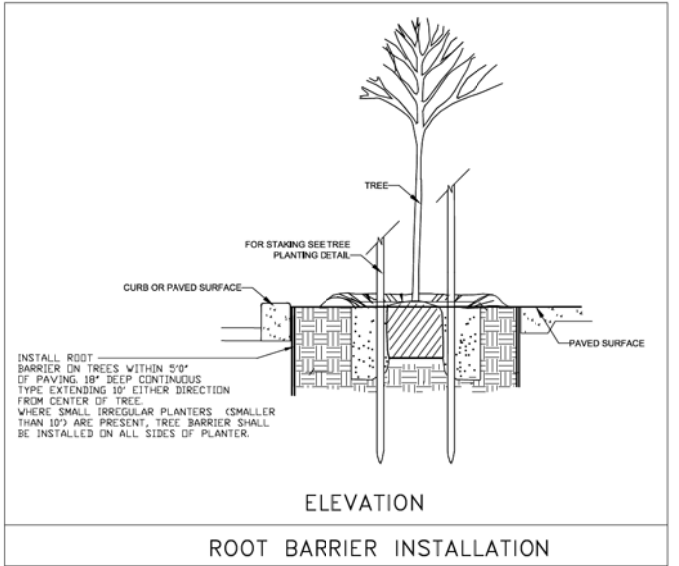
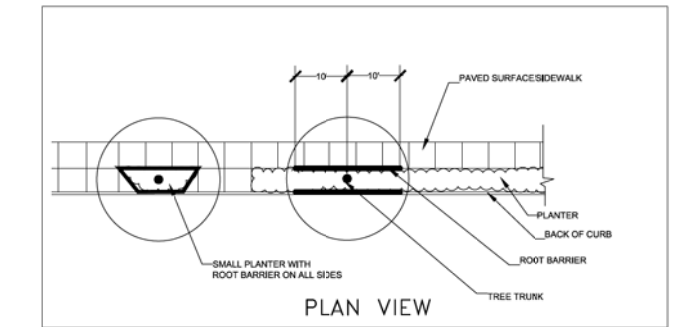
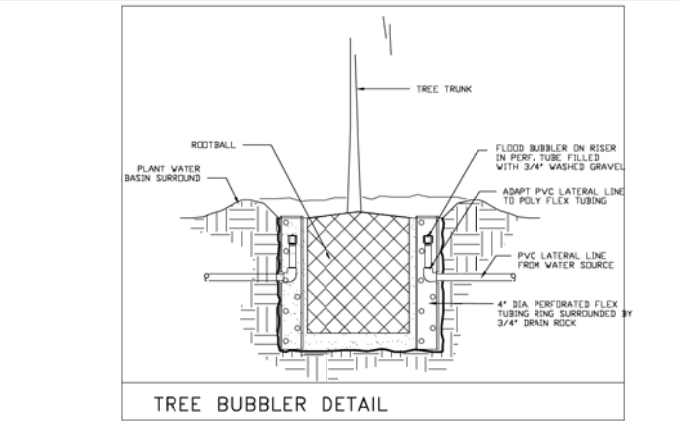
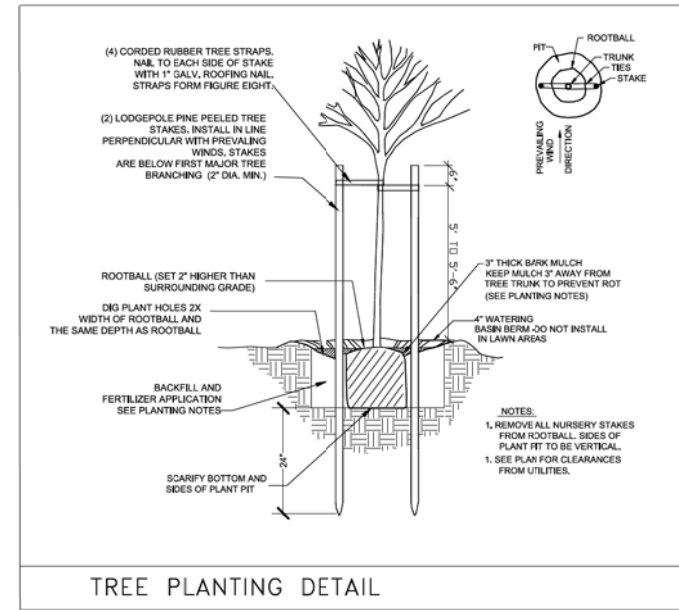
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**222 GATEWAY TERRACE
CONDOMINIUMS**
222 SOUTH FREMONT STREET
FOR:
WALL STREET PROPERTIES
SAN MATEO, CALIFORNIA

drawing
**PHOTO
RENDERINGS**

checked RH
date 12-20-19
scale 1/8"=1'-0"
job no. 1703
sheet



PLANT MATERIALS KEY		
BOTANICAL NAME(COMMON NAME)		WATER USE
TREES:		
	<u>LARGE CANOPY TREE/STREET TREE: 36" BOX</u>	
	PLATANUS A. 'COLUMBIA' (LONDON PLANE)	MED
	<u>ACCENT TREE: 48" BOX</u>	
	OLEA EUROPA 'SWAN HILL' (FRUITLESS OLIVE)	LOW
	<u>ACCENT TREE: 36" BOX</u>	
	AGONIS F. 'AFTER DARK' (PURPLE PEPPERMINT)	LOW
	<u>SMALL ACCENT TREE: 24" BOX</u>	
	LAGERSTROEMIA 'ZUNI' (CRAPE MYRTLE)	LOW
SHRUBS: SIZED AS NOTED		
	LARGE SHRUBS:	
	RHAMNUS 'EVE CASE' (COFFEEBERRY) ROSEMARINUS 'TUSCAN BLUE' (TUSCAN ROSEMARY)	LOW LOW
	MEDIUM SHRUBS:	
	CALLISTEMON 'LITTLE JOHN' (DWARF BOTTLEBRUSH) 5 GA	LOW
	CISTUS 'SANTA CRUZ' (ROCKROSE) 5 GA	LOW
	POLYGALA F. 'PETITE BUTTERFLIES' (SWEET PEA SHRUB) 5 GA	LOW
	RHAPHIOLEPIS 'BALLERINA' (DWARF PINK INDIA HAWTHORN) 5 GA	LOW
	TEUCRIUM F. 'COMPACTA' (BLUE GERMANDER) 5 GA	LOW
	WESTRINGIA 'MORNING LIGHT' (WESTRINGIA) 5 GA.	LOW
	SMALL ACCENT SHRUBS:	
	AGAVE 'BLUE GLOW' (AGAVE) 5 GA.	LOW
	ALOE STRIATA (ALOE) 5 GA.	LOW
	ANIGOZANTHOS 'BUSH BABY' (KANGAROO PAW) 1 GA.	LOW
	DIETES 'VARIGATA' (VARIGATED FORTNIGHT LILY) 1 GA	LOW
	LAVANDULA 'GOODWIN GRAY' (LAVENDER) 1 GA.	LOW
	PHORMIUM 'JACK SPRATT' (DWARF FLAX) 1 GA	LOW
	LARGE ACCENT SHRUBS:	
	CORDYLINE 'RED STAR' (DRACENA) 5 GA.	LOW
	LEPTOSPERMUM 'RUBY GLOW' (TEA TREE) 5 GA.	LOW
	LOROPETALUM 'SHANGHAI' (FRINGE FLOWER) 5 GA	MED
	GROUND COVER:	
	ERIGERON KARVINSKIANUS (SANTA BARBARA DAISY) 1 GA. AT 24" O.C.	LOW
	LANTANA MONTEVIDENSIS (LANTANA) 1 GA. AT 30" O.C.	LOW
	PERSICARIA CAPITATUM (PINK KNOTWEED) 1 GA. AT 30" O.C.	LOW
	VINES:	
	FICUS PUMILA (CREEPING FIG) 5 GA.	LOW
	PARTHENOCISSUS TRICUPIDATA (BOSTON IVY) 5 GA	LOW
	BIO-INFILTRATION BASIN PLANTINGS:	
	CAREX TUMULICOLA (BERKELEY SEDGE) 1 GA	
	CHONDRPETALUM ELEPHANTUM (CAPE RUSH) 5 GA.	
	FESTUCA CALIFORNICA (CALIFORNIA FESCUE) 1 GA	
	JUNCUS PATENS (BLUE RUSH) 1 GA.	
	MAHONIA REPENS (OREGON GRAPE) 5 GA. RHAMNUS 'LITTLE SUR' (DWARF COFFEEBERRY) 5 GA.	

FOR PLANT IMAGES SEE SHEET L-5



LANDSCAPE UNIT VALUES

TREE/ TAG NO.	TREE NAME	Trunk Diameter (in. at 48" High, & indicated for mulch)	Species Value	Canopy Value	Location Value	Building Area Setback	1.25 for a Heritage Tree	LU VALUE
10	almond (<i>Prunus amygdalus</i>)	15	0.3	0 (dead)	0.70	0.70	1	0.00
11	Catalina cherry (<i>Prunus</i> L. ssp. <i>lyonsii</i>)	6	0.5	0 (dead)	0.70	0.70	1	0.00
12	Catalina cherry (<i>Prunus</i> L. ssp. <i>lyonsii</i>)	9	0.5	0.45	0.70	0.70	1	2.84
13	Catalina cherry (<i>Prunus</i> L. ssp. <i>lyonsii</i>)	9	0.5	0.45	0.70	1	1	4.05
14	olive (<i>Olea europaea</i>)	17	0.7	0.60	0.70	1	1.25	17.85
15	Chinese pistache (<i>Patania chinensis</i>)	16	0.7	0.60	0.70	1	1.25	16.80
16	Keith Davey Chinese pistache (<i>Patania c.</i> 'Keith Davey')	18	0.7	0.60	0.70	1	1.25	18.90
17	Myoporum (<i>Myoporum laetum</i>)	7	0.3	0.50	0.70	1	1	2.10
18	coast live oak: (<i>Quercus agrifolia</i>)	16	0.9	0.55	0.70	0.70	1.25	13.86
19	coast live oak: (<i>Quercus agrifolia</i>)	15	0.9	0.70	0.70	0.70	1.25	16.54
20	Catalina cherry (<i>Prunus</i> L. ssp. <i>lyonsii</i>)	6	0.5	0.60	0.70	0.70	1	2.52

Site: 727 East 3rd Avenue, San Mateo
Prepared for: Wall Street Properties
Prepared by: David L. Bobby

1 of 1

November 20, 2013

REQUIRED TREES BY SQUARE FOOTAGE:
1 TREE FOR EVERY 400 S.F. OF PLANTED AREA
TOTAL SQUARE FOOTAGE OF ONSITE LANDSCAPE AREA: 3,380 S.F.
NUMBER REQUIRED: 9 TREES
NUMBER PROVIDED: 23 TREES
(NOT INCLUDING STREET TREES)

TOTAL SQUARE FOOTAGE OF TURF: 0
TOTAL SQUARE FOOTAGE OF ANNUAL COLOR: 0

NOTES:
1. ALL LANDSCAPE AREAS TO BE IRRIGATED BY A LOW-PRECIPITATION DRIP TYPE SYSTEM WITH A WEATHER-BASED CONTROLLER WITH RAIN SENSOR.
2. ALL LANDSCAPED AREAS TO RECEIVE 3" OF RECYCLED BROWN BARK MULCH OR PEA GRAVEL- TAN TONES
3. PLANTING AND IRRIGATION PLANS SHALL COMPLY WITH CITY OF SAN MATEO WATER CONSERVATION ORDINANCE REQUIREMENTS.

REVISIONS

Thomas Bank & Associates, LLP
Landscape Architects
10000 Wilshire Blvd., Suite 400
Beverly Hills, CA 90210
Tel: 310.951.2583

LANDSCAPE ARCHITECT
2017
Signature
RECORDED

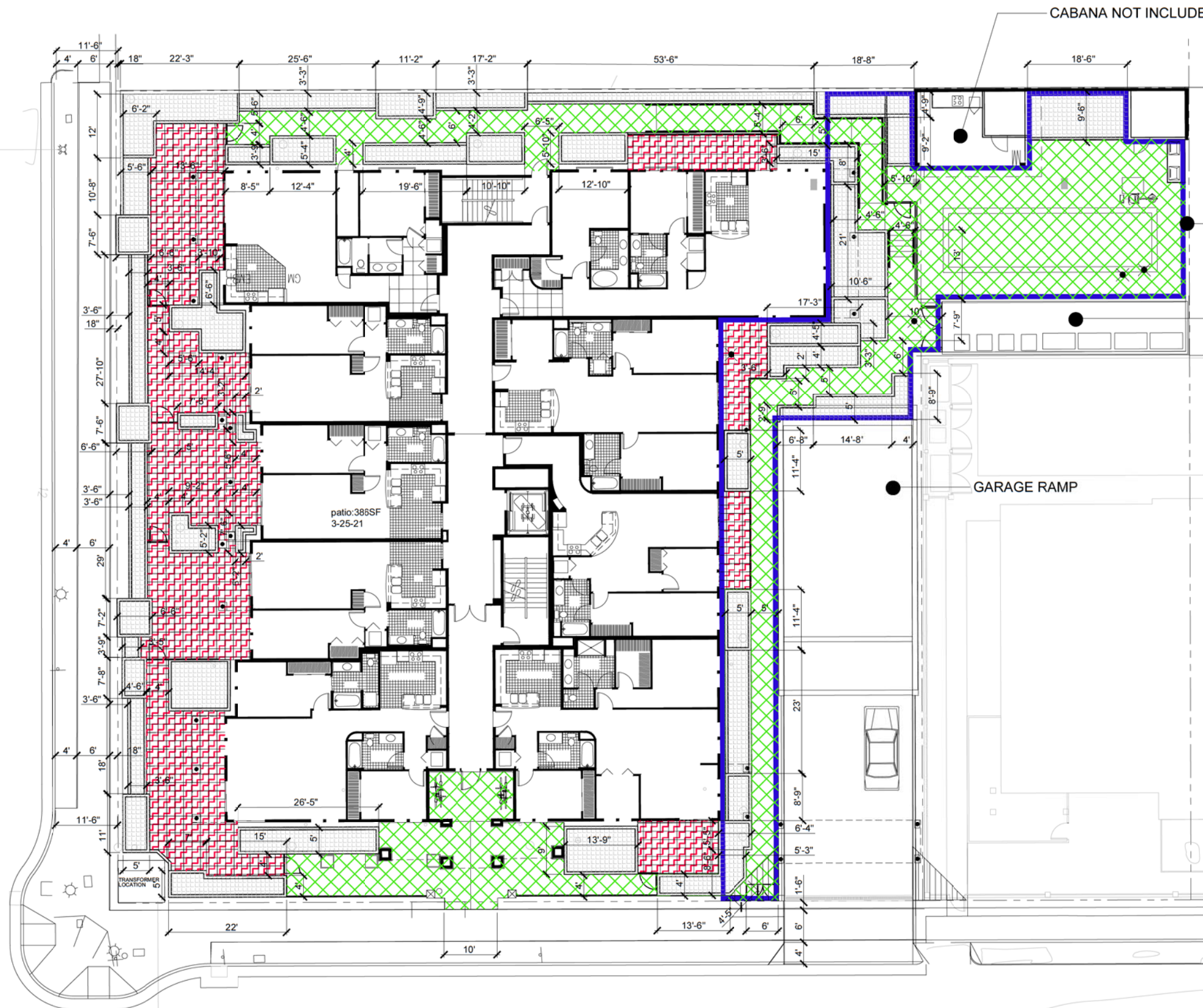
222 GATEWAY TERRACE
CONDOMINIUMS
WALL STREET PROPERTIES

NOTES AND DETAILS
PRELIMINARY
LANDSCAPE PLAN

DESIGNED:
RS
CHECKED:
RS
DATE:
3-25-21
SCALE:

DRAWN:
JOB NO:
SHEET
L-2
OF SHEETS

THIRD AVENUE



CABANA NOT INCLUDED

PERIMETER BLUE BAND
IS REAR AREA

TRASH ENCLOSURE

GARAGE RAMP

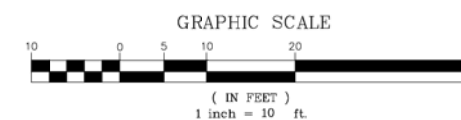
REAR YARD CALCULATIONS:

4,007 sf
1,002 sf (25% of total)
1,005 sf provided

USABLE OPEN SPACE CALCULATIONS:

COMMON AREA PLANTERS ONLY: 3,363 SF
COMMON USE PAVED AREA: 3,832 SF
(EXCLUDING PRIVATE PATIOS)
COMMON AREA TOTAL : 7,195 SF
(EXCLUDING PRIVATE PATIOS)
PRIVATE USE PATIO PAVED AREA: 2,603 SF
(GROUND FLOOR ONLY)

TOTAL USABLE OPEN SPACE: 6,435 SF
(DOES NOT INCLUDE PLANTERS)



REVISIONS	

Thomas Bank & Associates, LLP
Landscape Architects
Walnut Creek, CA 94596
Ph: 925.933.2583

222 GATEWAY TERRACE
CONDOMINIUMS
WALL STREET PROPERTIES

LANDSCAPE 'REAR YARD'
CALCULATIONS

DESIGNED: RS	DRAWN:
CHECKED: RS	JOB NO:
DATE: 8-9-21	
SCALE: 	

SHEET
L-3
OF SHEETS



POOL IMAGE



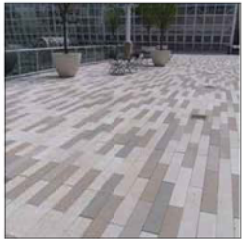
SUGGESTED CABANA IMAGE
(FURNITURE NOT A PART)



PRE-MANUFACTURED PLANTERS
COLOR: BRONZE (30 IN. SQ.)



PRIVATE PATIO 24"X24" SQUARE PAVERS



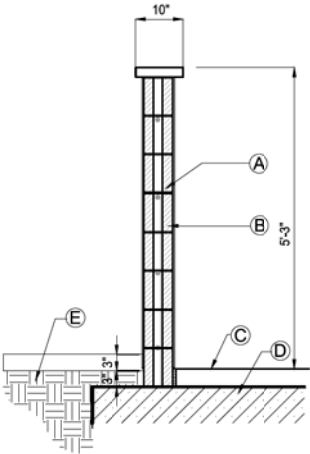
COMMON AREA
PERVIOUS PLANK PAVERS



PLANTERS AND WALLS WITH SMOOTH
STUCCO FINISH TO MATCH BUILDING



STREET LIGHT: HOLOPHANE WASHINGTON SERIES
WITH CUT-OFF, MIDNIGHT GREEN OR AS SPECIFIED BY CITY



- ITEM DESCRIPTIONS:**
- A - "KAY-TEE PRODUCTS" #WC10X2.5X24 CONCRETE WALL CAP (CONTINUOUS); PROVIDE DAVIS INTERNAL COLOR (TO BE SELECTED), CENTERED ON WALL. AVAILABLE: CAST KAY-TEE, SANTA ROSA, CA (707)576.1018.
 - B - 6"X8"X16" COOL GRAY COLOR, WITH #4 BAR AT 16" O.C. EACH WAY; GROUT ALL CELLS SOLID; PROVIDE TROWEL SMOOTH STUCCO FINISH ON ALL EXTERIOR BLOCK SURFACES; MATCH ARCHITECTURAL COLOR AND FINISH
 - C - FINISH PAVING; SEE LAYOUT PLAN
 - D - CONCRETE PODIUM
 - E - FINISH GRADE OUTSIDE OF PODIUM HOLD STUCCO SCREED 3" ABOVE GRADE
- NOTE:**
1. WALL AND CAP TO CONNECT SEAMLESSLY WITH ADJACENT RAISED PLANTER WALL CONSTRUCTION AND FINISHES.
 2. STUCCO FINISH TO MATCH ARCHITECTURAL STUCCO COLOR AND FINISH.

SECTION: PROJECT WALL
NO SCALE



BIKE RACK, EMBED-MOUNT GALVANIZED FINISH
LANDSCAPE FORMS



SUGGESTED TREE UPLIGHT



PLANTER WALL PATH LIGHTS

(FINAL LIGHTING PLANS, PHOTOMETRICS AND PRODUCTS SHALL COMPLY WITH
SAN MATEO MUNICIPAL CODE.)

REVISIONS

Thomas Bank & Associates, LLP
Landscape Architects
10000 S. Main Street, Suite 200
Walnut Creek, CA 94596
Ph: 925.933.2583

222 GATEWAY TERRACE
CONDOMINIUMS
WALL STREET PROPERTIES

SITE AMENITIES AND
CHARACTER
PRELIMINARY
LANDSCAPE PLAN

DESIGNED: RS	DRAWN:
CHECKED: RS	JOB NO:
DATE 8-9-21	
SCALE 	

SHEET

L-4

OF SHEETS

TREES



PLATANUS 'COLUMBIA'
(LONDON PLANE)



OLEA EUROPA 'SWAN HILL'
(FRUITLESS OLIVE)



AGONIS F. 'AFTER DARK'
(WILLOW LEAF PEPPERMINT)



LAGERSTROMEIA 'ZUNI'
(CRAPE MYRTLE)

VINES



FICUS PUMILA
(CREEPING FIG)



PARTHENOCISSUS TRICUSPIDATA
(BOSTON IVY)

SHRUBS



FRANGULA 'EVE CASE'
(COFFEEBERRY)



ROSEMARINUS 'TUSCAN BLUE'
(TUSCAN ROSEMARY)



CALLISTEMON 'LITTLE JOHN'
(DWARF BOTTLEBRUSH)



CISTUS 'SANTA CRUZ'
(ROCKROSE)



POLYGALA 'PETITE BUTTERFLIES'
(DWARF SWEET PEA SHRUB)



RHAPHIOLEPIS 'BALLERINA'
(DWARF INDIA HAWTHORN)



TEUCRIUM F. 'COMPACTUM'
(BLUE GERMANDER)



WESTRINGIA 'MORNING LIGHT'
(VARIGATED WESTRINGIA)



AGAVE 'BLUE GLOW'
(AGAVE)



ALOE STRIATA
(ALOE)



ANIGOZANTHOS 'BUSH BABY'
(KANGAROO PAW)



DIETES 'VARIGATA'
(VARIGATED FORTNIGHT LILY)



LAVANDULA 'GOODWIN CREEK'
(LAVENDER)



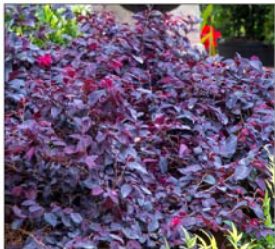
PHORMIUM 'JACK SPRATT'
(DWARF FLAX)



CORDYLINA 'RED STAR'
(DRACENA)



LEPTOSPERMUM 'RUBY GLOW'
(TEA TREE)



LOROPETALUM 'SHANGHAI'
(FRINGE FLOWER)



ERIGERON KARVINSKIANUS
(SANTA BARBARA DAISY)



LANTANA MONTEVIDENSIS
(LAVENDER SWIRL LANTANA)



PERSICARIA CAPITATA
(PINK KNOTWEED)

BASIN PLANTS



CAREX TUMICOLA
(BERKELEY SEDGE)



CAREX TUMULCOLA
(BERKELEY SEDGE)



FESTUCA CALIFORNICA
(CALIFORNIA FESCUE)



JUNCUS PATENS
(BLUE RUSH)



MAHONIA REPENS
(DWARF OREGON GRAPE)



RHAMNUS 'LITTLE SUR'
(DWARF RHAMNUS)

REVISIONS

Thomas Bank & Associates, LLP
Landscape Architects
Walnut Creek, CA 94596
Ph: 925.933.2583

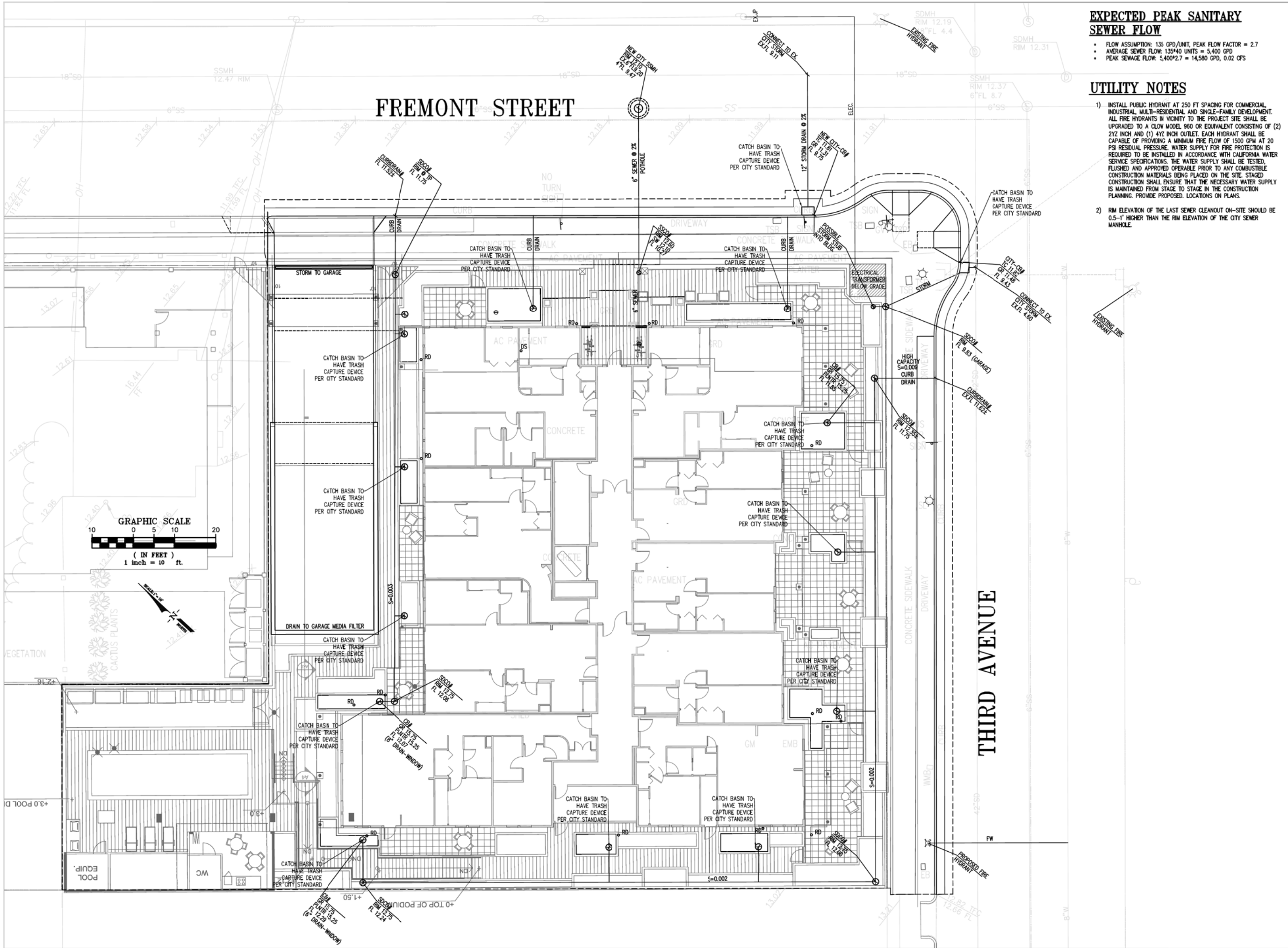


222 GATEWAY TERRACE
CONDOMINIUMS
WALL STREET PROPERTIES

PLANT IMAGES
PRELIMINARY
LANDSCAPE PLAN

DESIGNED: RS	DRAWN:
CHECKED: RS	JOB NO:
DATE 3-25-21	
SCALE 	

SHEET
L-5
OF SHEETS



**EXPECTED PEAK SANITARY
SEWER FLOW**

- FLOW ASSUMPTION: 135 GPD/UNIT, PEAK FLOW FACTOR = 2.7
- AVERAGE SEWER FLOW: 135*40 UNITS = 5,400 GPD
- PEAK SEWAGE FLOW: 5,400*2.7 = 14,580 GPD, 0.02 CFS

UTILITY NOTES

- 1) INSTALL PUBLIC HYDRANT AT 250 FT SPACING FOR COMMERCIAL, INDUSTRIAL, MULTI-RESIDENTIAL AND SINGLE-FAMILY DEVELOPMENT. ALL FIRE HYDRANTS IN VICINITY TO THE PROJECT SITE SHALL BE UPGRADED TO A CLOW MODEL 960 OR EQUIVALENT CONSISTING OF (2) 2 1/2" INCH AND (1) 4 1/2" INCH OUTLET. EACH HYDRANT SHALL BE CAPABLE OF PROVIDING A MINIMUM FIRE FLOW OF 1500 GPM AT 20 PSI RESIDUAL PRESSURE. WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED IN ACCORDANCE WITH CALIFORNIA WATER SERVICE SPECIFICATIONS. THE WATER SUPPLY SHALL BE TESTED, FLUSHED AND APPROVED OPERABLE PRIOR TO ANY COMBUSTIBLE CONSTRUCTION MATERIALS BEING PLACED ON THE SITE. STAGED CONSTRUCTION SHALL ENSURE THAT THE NECESSARY WATER SUPPLY IS MAINTAINED FROM STAGE TO STAGE IN THE CONSTRUCTION PLANNING. PROVIDE PROPOSED LOCATIONS ON PLANS.
- 2) RIM ELEVATION OF THE LAST SEWER CLEANOUT ON-SITE SHOULD BE 0.5'-1' HIGHER THAN THE RIM ELEVATION OF THE CITY SEWER MANHOLE.

revisions	by

Luk and Associates

Civil Engineering
Land Planning
Land Surveying

738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
Email: jackie@lukassociates.com

SEAL:

222 GATEWAY TERRACE
CONDOMINIUMS
FOR
WALL STREET PROPERTIES
SAN MATEO, CALIFORNIA

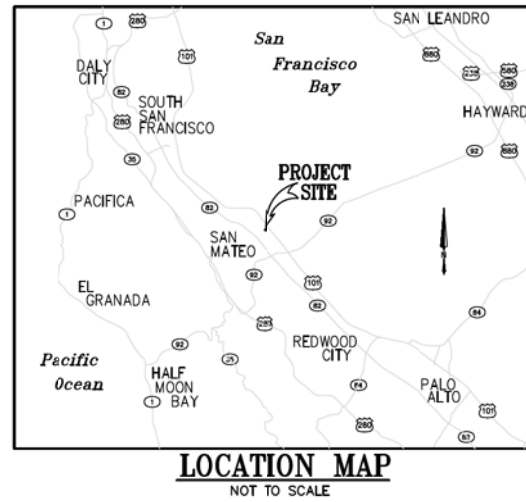
Title:
PRELIMINARY
UTILITY
PLAN

Date: APRIL, 2021
Scale: 1" = 10'
Drawn By: D.A.D.
Checked By: J.L. / M.D.
Job No.: 18109A10
Drawing No.: MASTER
Plot Date: 04-01-2021

Sheet No.:
C-2

1. OWNER/DEVELOPER: VCTOR M. CATANZARO
P.O. BOX 449
SAN MATEO, CA 94401-0449
(650) 574-1000
2. ENGINEER: LUK AND ASSOCIATES
738 ALFRED NOBEL DRIVE
HERCULES, CA 94547
JACKIE LUK PLS 8934
(510) 724-3388
3. ASSESSOR'S PARCEL NO.: 033-163-050, 033-163-170
4. TOTAL LOT AREA: 0.581 ACRES (25,327 S.F.)
5. ZONING
CURRENT ZONING: R4-D - HIGH DENSITY MULTI-FAMILY
PROPOSED ZONING: R4-D - HIGH DENSITY MULTI-FAMILY
EXISTING LAND USE: RESIDENTIAL
PROPOSED LAND USE: RESIDENTIAL
6. BOUNDARY COMPILED FROM FIELD SURVEY & RECORD INFORMATION.
7. UTILITIES:
STORM: CITY OF SAN MATEO
SEWER: CITY OF SAN MATEO
WATER: CALIFORNIA WATER SERVICE COMPANY
ELECTRIC: PACIFIC GAS AND ELECTRIC COMPANY
GAS: PACIFIC GAS AND ELECTRIC COMPANY
COMMUNICATION: AT&T/COMCAST
8. FLOOD ZONE: FLOOD ZONE: THIS SITE IS LOCATED IN ZONE "X" (NO SHADING), DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER FLOOD INSURANCE RATE MAP NUMBER 060801C0302E, EFFECTIVE OCTOBER 16, 2012

1 GENERAL NOTES
2 EXISTING BOUNDARY SURVEY
3 EXISTING TOPOGRAPHIC SURVEY
4 PROPOSED BOUNDARY/PLOT PLAN



revisions	by

Civil Engineering
Land Planning
Land Surveying

738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
Email: jackie@ukassociates.com

SEAL:

A circular professional seal for a land surveyor. The outer ring contains the text "PROFESSIONAL LAND SURVEYOR" at the top and "STATE OF CALIFORNIA" at the bottom, separated by two stars. Inside the ring, the name "COQUELINE LINOW" is written in a cursive script. Below the name, the text "PLS 8934" is printed.

1. DATE OF FIELD SURVEY: AUGUST 29 AND SEPTEMBER 4, 2018 AS TO THE BOUNDARY AND TOPOGRAPHIC SURVEY OF THE SUBJECT PROPERTY.
2. THE UTILITIES SHOWN HEREON ARE BY SURFACE OBSERVATION AND RECORD INFORMATION ONLY AND NO WARRANTY IS GIVEN HEREIN AS TO THEIR EXACT LOCATION. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND/OR CONTRACTOR TO VERIFY THE EXACT LOCATION OF THE UTILITIES WITH THE APPROPRIATE UTILITY COMPANY OR AGENCY.
3. DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
4. THERE ARE NO CEMETERIES ON OR WITHIN 100 FEET OF THE SUBJECT PROPERTY

(R1) "PARCEL MAP NO. 182," FILED ON NOVEMBER 12, 1981, IN BOOK 52 OF PARCEL MAPS, AT PAGE 6, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY.

(R2) "EASTERN ADDITION OF THE TOWN OF SAN MATEO," FILED ON MAY 26, 1878 IN BOOK 5 OF MISCELLANEOUS RECORDS, AT PAGE 134 AND A COPY ENTERED IN BOOK 1 OF MAPS, AT PAGE 58, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY.

(R3) "PARCEL MAP NO. 465," FILED ON NOVEMBER 8, 2018, IN BOOK 84 OF PARCEL MAPS, AT PAGES 34-35, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY.

(R4) "PARCEL MAP NO. 298," FILED ON SEPTEMBER 21, 1988, IN BOOK 61 OF PARCEL MAPS, AT PAGES 23-24, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY.

THE BASIS OF BEARINGS OF THIS SURVEY IS BASED ON THE CENTERLINE OF THIRD AVENUE AS SHOWN ON THAT CERTAIN MAP ENTITLED "PARCEL MAP NO. 182", FILED ON NOVEMBER 12, 1981, IN BOOK 52 OF PARCEL MAPS, AT PAGE 6, IN THE OFFICE OF THE COUNTY RECORDER OF SAN MATEO COUNTY. TAKEN AS NORTH 48°32'00" EAST (BASED ON IMPROVEMENTS).

ELEVATIONS BASED ON CITY OF SAN MATEO VERTICAL DATUM. BENCHMARK #059-006 SET RAMSET NAIL AND WASHER LOCATED ON TOP OF CURB NE'LY RETURN AT DELAWARE ST AND 5TH AVE. BENCHMARK ELEVATION = 14.870'

THIS TENTATIVE MAP WAS DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE LAND SURVEYORS ACT IN JUNE 2019.

DATE JUNE 21, 2019

Title:
**GENERAL
NOTES**

Date:	DECEMBER, 2019
Scale:	NO SCALE
Drawn By:	D.A.D.
Checked By:	J.L. / M.D.
Job No.:	18109A10
Drawing No.:	TENT-MAP
Plot Date:	12-20-2019

Sheet No.:
TM-1

[illegible]**Luk and Associates**

Civil Engineering
Land Planning
Land Surveying

738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
Email: jackie@ukassociates.com

SEAL:



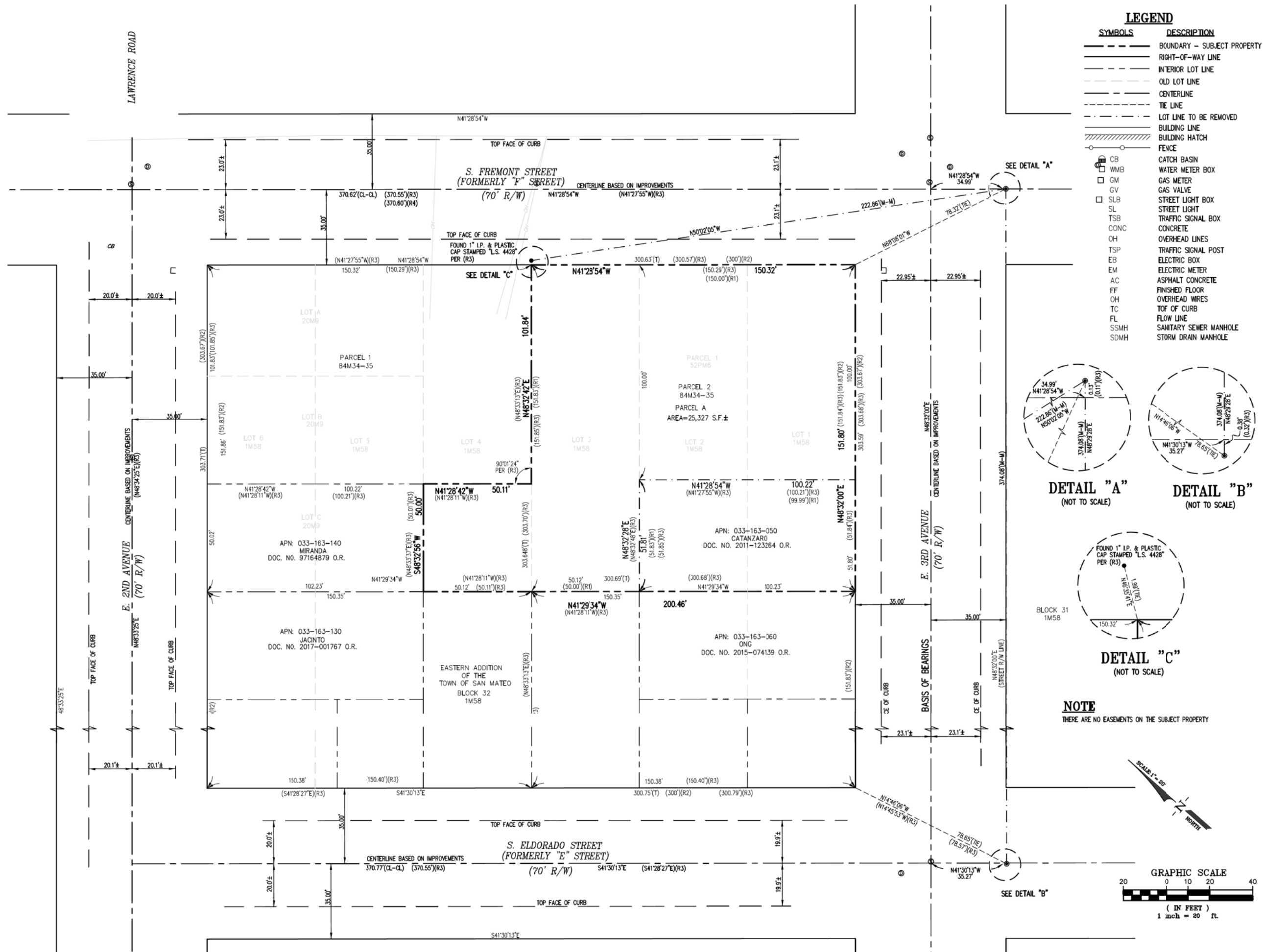
VESTING TENTATIVE MAP
222 GATEWAY TERRACE
CONDOMINIUMS
FOR
WALL STREET PROPERTIES
SAN MATEO, CALIFORNIA

Title:
EXISTING
BOUNDARY
SURVEY

Date:	DECEMBER, 2019
Scale:	1" = 20'
Drawn By:	D.A.D.
Checked By:	J.L. / M.D.
Job No.:	18109A10
Drawing No.:	TENT-MAP
Plot Date:	12-20-2019

Sheet No.:

TM-2



revisions	by

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Civil Engineering
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Phone (510) 724-3388
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SEAL:

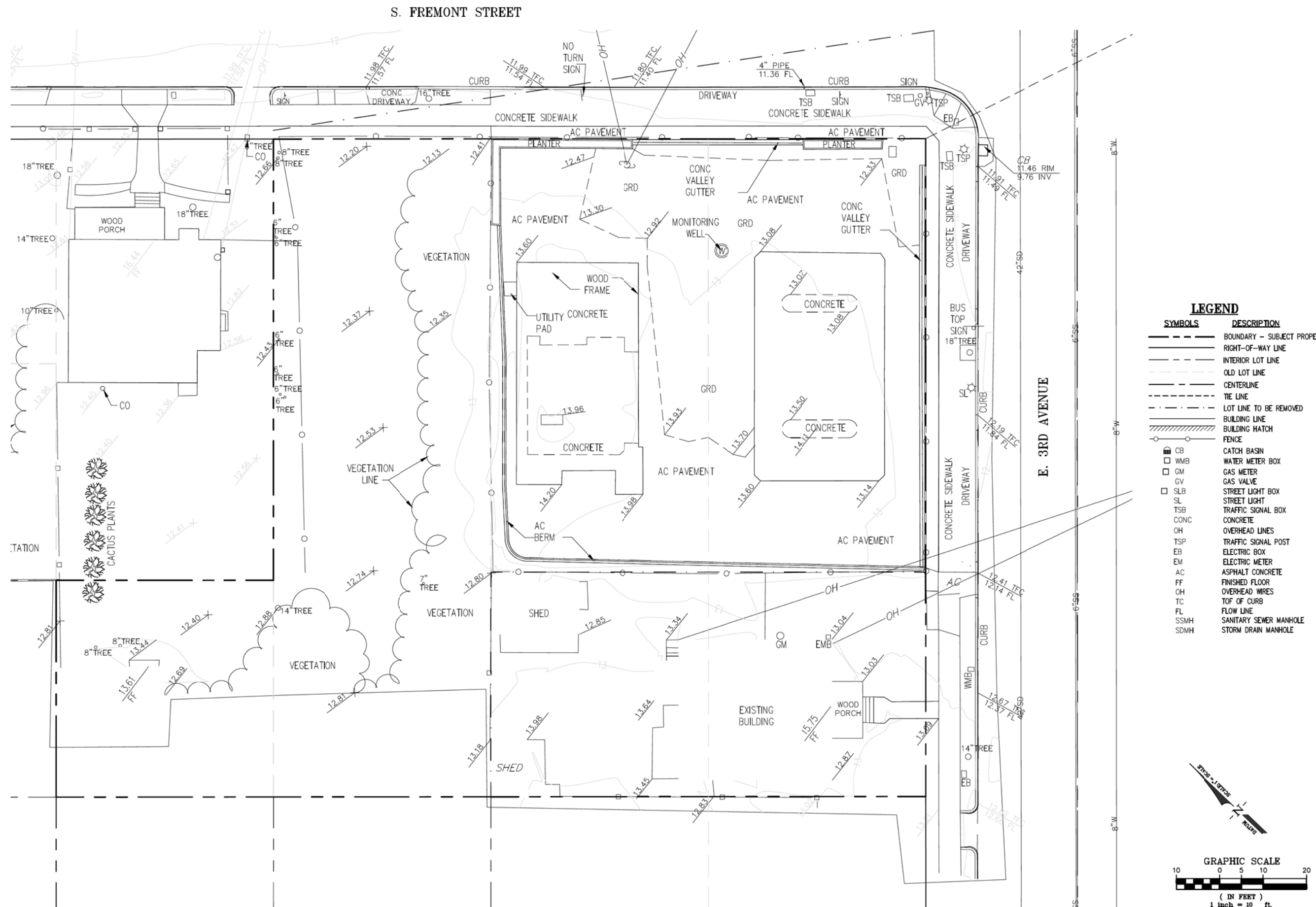


VESTING TENTATIVE MAP
222 GATEWAY TERRACE
CONDOMINIUMS
FOR:
WALL STREET PROPERTIES
SAN MATEO, CALIFORNIA

Title:
EXISTING
TOPOGRAPHIC
SURVEY

Date: DECEMBER, 2019
Scale: 1"=10'
Drawn By: D.A.D.
Checked By: J.L. / M.D.
Job No.: 18109A10
Drawing No.: TENT-MAP
Plot Date: 12-20-2019

Sheet No.:
TM-3





revisions	by

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
Email: jackie@lukassociates.com



VESTING TENTATIVE MAP
222 GATEWAY TERRACE
CONDOMINIUMS
FOR: PROPERTIES
WALL STREET, CALIFORNIA

Title:
**PROPOSED
BOUNDARY/PLOT
PLAN**

Date:	DECEMBER, 2019
Scale:	1" = 10'
Drawn By:	D.A.D.
Checked By:	J.L. / M.D.
Job No.:	18109A10
Drawing No.:	TENT-MAP
Plot Date:	12-20-2019
Sheet No.:	TM-4